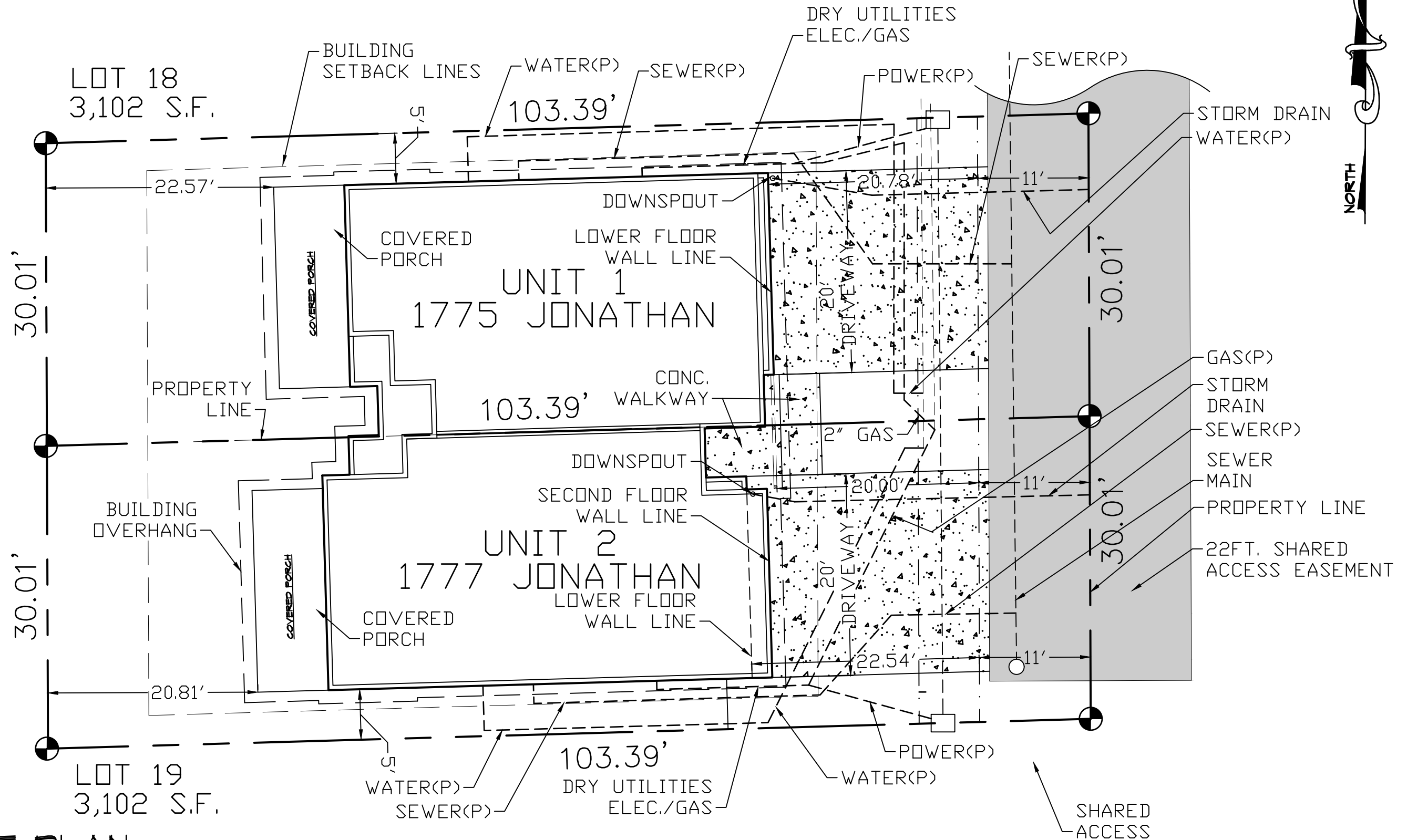


OWNER - STEVE BENNETT CONSTRUCTION, LLC
 APPLGATE CROSSING LOT 18 & 19
 1775 & 1777 SE JONATHON AVE.



SITE PLAN
 1" = 10'

PRECISION DESIGN
 MATT FANCETT
 7 PARKVIEW CIRCLE
 BELLINGHAM, WA 98229
 503-569-2338

APPLGATE CROSSING
LOT 18 & 19
SITE PLAN

STEVE BENNETT
CONSTRUCTION, LLC
 CCB#175467
 1775-1777 SE JONATHON AVE.
 DALLAS, OR

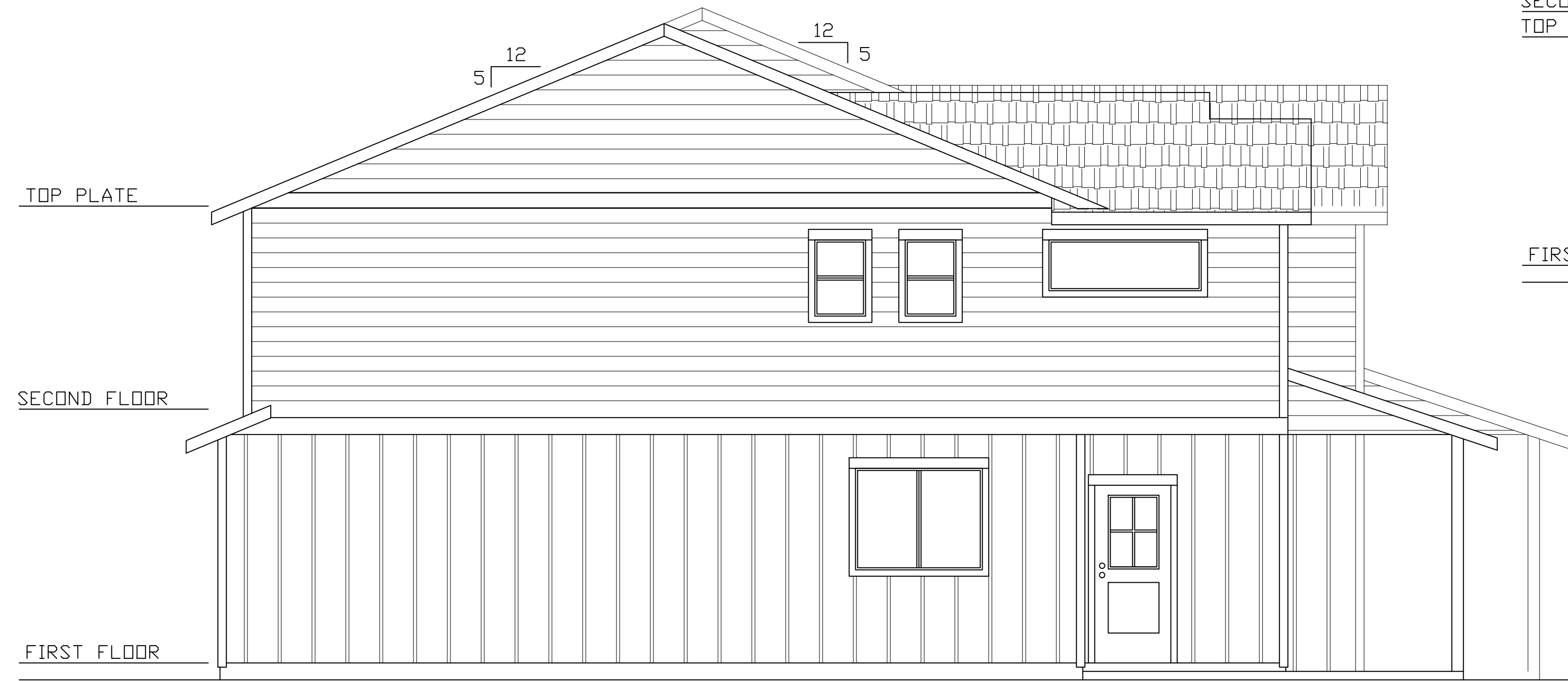
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JOB NO.	
CLIENT NO.	
DRAWING NO.	0
REV.	0

PROVIDE PASSIVE RADON MITIGATION MEASURES PER ORSC AF103.5

2-A
PASSIVE

FOUNDATIONS: A GEOTECHNICAL ENGINEER MUST OBSERVE AND APPROVE OF THE SOIL CONDITIONS EXPOSED IN THE BOTTOM OF ALL FOUNDATION EXCAVATIONS BEFORE CONSTRUCTION FORMS OR PLACING CONCRETE.

SEE SHEET "A2" FOR NOTES, JOIST AND BEAM LIST



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



PROVIDE A WATER-RESISTIVE BARRIER IN ACCORDANCE WITH SECTION R703.1.1 (MEETING 75% DRAINAGE EFFICIENCY OF ASTM E2273) (TYP. ALL WALLS)

REAR ELEVATION
SCALE: 1/4" = 1'-0"



PROVIDE A WATER-RESISTIVE BARRIER IN ACCORDANCE WITH SECTION R703.1.1 (MEETING 75% DRAINAGE EFFICIENCY OF ASTM E2273) (TYP. ALL WALLS)

RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

UNIT 1 AREAS:

FIRST FLOOR - 474 SQ. FT. (INCLUDING STAIRS)
SECOND FLOOR - 896 SQ. FT. (EXCLUDING STAIRS)
LIVING AREA - 1,370 SQ. FT.
GARAGE - 519 SQ. FT.
TOTAL - 1,889 SQ. FT.

UNIT 2 AREAS:

FIRST FLOOR - 474 SQ. FT. (INCLUDING STAIRS)
SECOND FLOOR - 963 SQ. FT. (EXCLUDING STAIRS)
LIVING AREA - 1,437 SQ. FT.
GARAGE - 519 SQ. FT.
TOTAL - 1,956 SQ. FT.

PRECISION DESIGN

MATT FANGETT
7 PARKVIEW CIRCLE
BELLINGHAM, WA 98229
503-569-2338

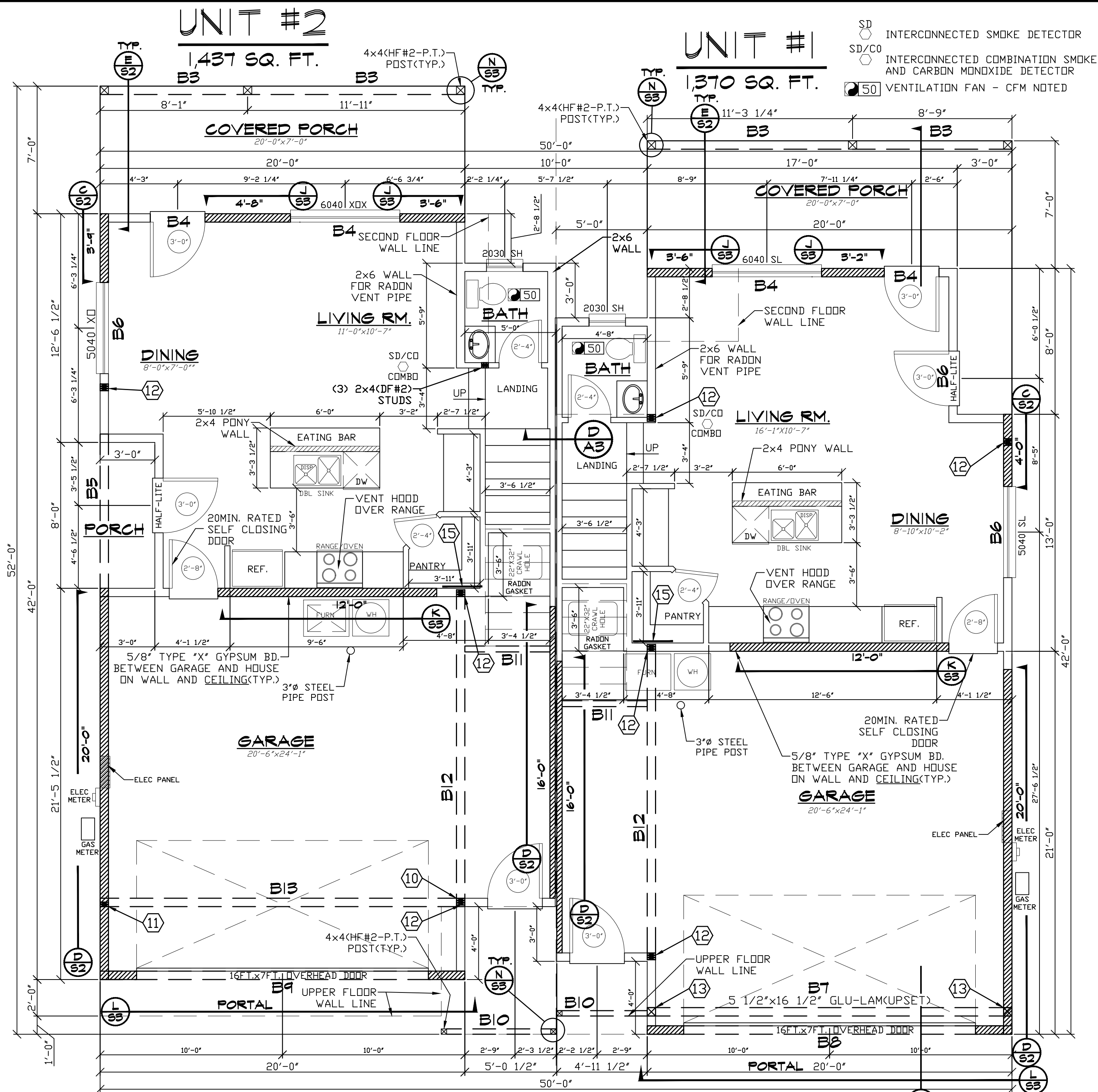
ELEVATIONS

STEVE BENNETT CONSTRUCTION, LLC

CCB#175467

1775-1777 JONATHAN AVE.

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1777 JONATHAN AVE. **FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

1775 JONATHAN AVE. **FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"

BEAM SCHEDULE

R1 1 1/4"x11 7/8" 1.3E LSL RIM JOIST	J15 RFP120 1 3/4"x11 7/8"	J16 RFP190 3 1/2"x11.875"
F1 2.0E RIGIDLAM LVL 1 3/4"x11 7/8"	BK1 RFP1 20 1 3/4"x11 7/8" BLOCKING	BK2 RFP1 20 1 3/4"x9 1/2" BLOCKING
F2 2.0E RIGIDLAM LVL 1 3/4"x11 7/8"		
F3 2.0E RIGIDLAM LVL 1 3/4"x11 7/8"		
F4 2.0E RIGIDLAM LVL 1 3/4"x11 7/8"		
F5 2.0E RIGIDLAM LVL 1 3/4"x11 7/8"		
F6 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F7 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F8 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F9 NDT USED		
F10 RFP120 1 3/4"x9 1/2"		
F11 RFP120 1 3/4"x9 1/2"		
F12 2.0E RIGIDLAM LVL 1 3/4"x15"		
F13 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F14 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F15 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F16 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
F17 2.0E RIGIDLAM LVL 1 3/4"x11.875"		
J1 RFP120 1 3/4"x9 1/2"		
J2 RFP120 1 3/4"x9 1/2"		
J3 RFP120 1 3/4"x9 1/2"		
J4 RFP120 1 3/4"x9 1/2"		
J5 RFP120 1 3/4"x9 1/2"		
J6 RFP120 1 3/4"x11 7/8"		
J7 RFP120 1 3/4"x11 7/8"		
J8 RFP1400 2.063"x11 7/8"		
J9 RFP170 2.313"x11 7/8"		
J10 NDT USED		
J11 RFP120 1 3/4"x11 7/8"		
J12 RFP120 1 3/4"x11 7/8"		
J13 RFP120 1 3/4"x11 7/8"		
J14 RFP120 1 3/4"x11 7/8"		

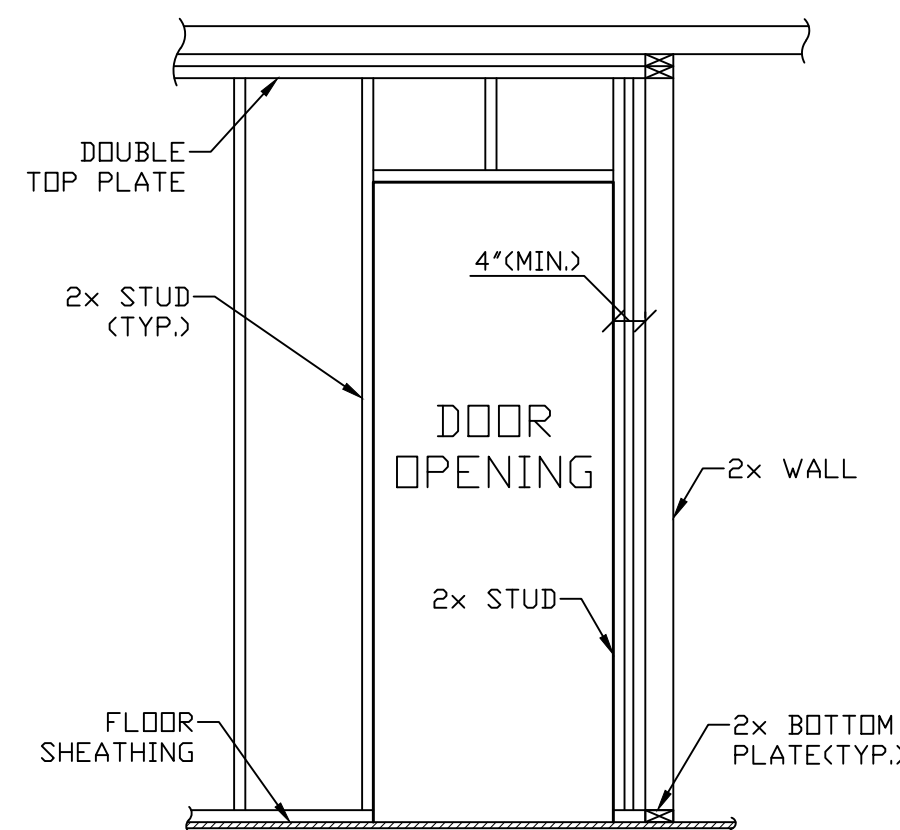
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LIVING AREA - 1,370 SQ. FT.
GARAGE - 519 SQ. FT.
TOTAL - 1,889 SQ. FT.

UNIT 2 AREAS:

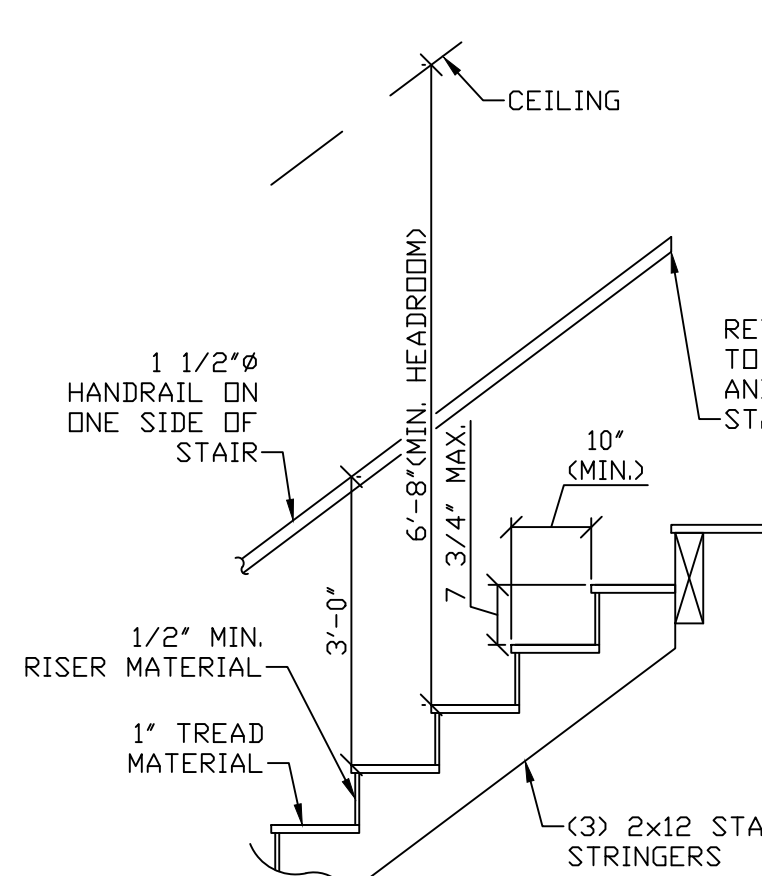
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SECOND FLOOR - 963 SQ. FT. (EXCLUDING STAIRS)
LIVING AREA - 1,437 SQ. FT.
GARAGE - 519 SQ. FT.
TOTAL - 1,956 SQ. FT.

PROVIDE 4"(MIN.) RETURN AT ALL DOORS TO ALLOW FOR TRIM INSTALLATION

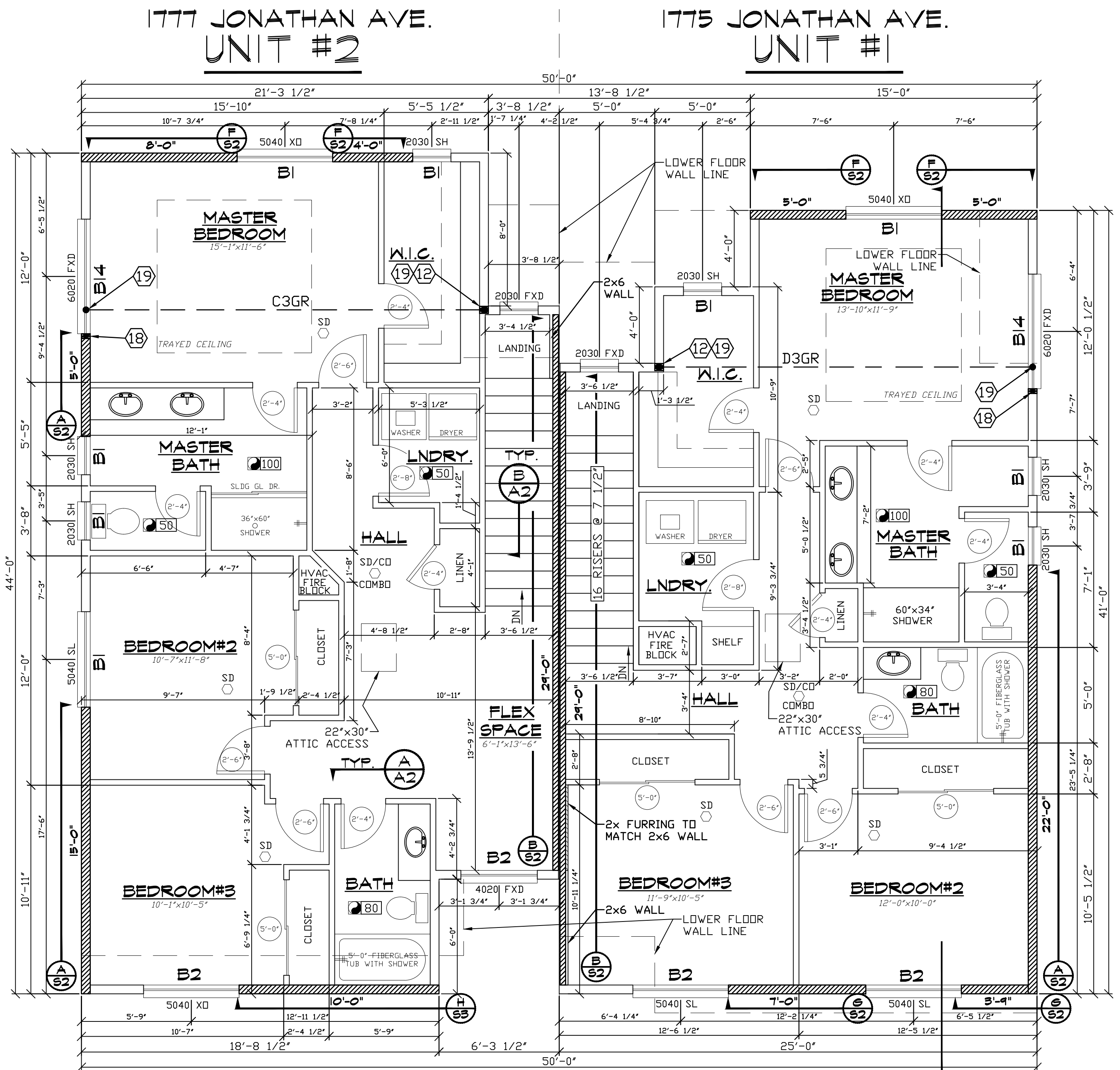


TYPICAL DOOR FRAMING DETAIL
SCALE: 1/2" = 1'-0"

APPROVED AND INTERCONNECTED SMOKE DETECTORS ARE TO BE INSTALLED IN EVERY SLEEPING AREA IN THE COMMON AREA, CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EACH BEDROOM OR WITHIN 15 FEET OF BEDROOM DOOR AND ON EACH FLOOR LEVEL (DRSC R315.3)



STAIR DETAIL
SCALE: 1/2" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

JOISTS, BEAMS AND STRUCTURAL NOTES
1774/1775 SE JONATHAN, MONMOUTH, OR

- JOISTS AND BEAMS**
- J1 11 7/8" TJI 360 AT 16" ON CENTER
 - J2 1 3/4" x 11 7/8" 1.55E TIMBERSTRAND LSL
 - J3 11 7/8" TJI 210 AT 16" ON CENTER
 - J4 11 7/8" TJI 210 AT 16" ON CENTER
 - B1 4 x 6 (DF2)
 - B2 4 x 8 (DF2)
 - B3 4 x 8 (DF2)
 - B4 4 x 8 (DF2)
 - B5 1 3/4" 1.55E TIMBERSTRAND LSL
 - B6 4 x 8 (DF2)
 - B7 5 1/2" x 16 1/2" GLU LAM (24F-V4-DF)
 - B8 4 x 12 (DF2)
 - B9 5 1/2" x 13 1/2" GLU LAM (24F-V4-DF)
 - B10 4 x 8 (DF2)
 - B11 1 3/4" 1.55E TIMBERSTRAND LSL
 - B12 5 1/2" x 13 1/2" GLU LAM (24F-V4-DF)
 - B13 5 1/2" x 11 7/8" GLU LAM (24F-V4-DF)
 - B14 5 1/2" x 9" GLU LAM (24F-V4-DF)

STRUCTURAL NOTES:

- DESIGN IS BASED ON 1,500 PSF SOIL BEARING CAPACITY.
- CONCRETE 3,000 PSI COMPRESSIVE STRENGTH.
- STEEL - 60,000 PSI TENSILE STRENGTH.
- 15" THICK x 24" SQUARE, 4-#4'S EACH WAY.
- 8" THICK CONCRETE FOOTING WITH 4 #4'S LONG DIRECTION.
- 8" THICK x 30" SQUARE, 4-#4'S EACH WAY.
- 15" THICK FOOTING WITH #4'S 6" ON CENTER EACH WAY - SEE PLAN FOR DIMENSIONS.
- 25" WIDE x 15" THICK x 40" LONG FOOTING, #4'S 6" ON CENTER EACH WAY.
- SIMPSON "LSSR2.12" FACE MOUNT HANGER, FACE: 14-10DX2.5". JOIST: 12-10DX1.5".
- SIMPSON "HUCQ612-SDS" FACE MOUNT HANGER, FACE: 14-1/4" x 2 1/2" SDS SCREWS, JOIST: 6-1/4" x 2 1/2" SDS SCREWS.
- (2) 2x6(DF) STUDS, CONNECT ALL WITH 2 ROWS OF 16d NAILS @ 12 O.C. BOTH ENDS OF BEAM OR TRUSS, IF APPLICABLE.
- (3) 2x6(DF) STUDS, CONNECT ALL WITH 2 ROWS OF 16d NAILS @ 12 O.C. BOTH ENDS OF BEAM OR TRUSS, IF APPLICABLE 3-2x6 (DF) STUDS, CONNECT ALL WITH 2 ROWS OF 16d NAILS AT 12" ON CENTER.
- 6x6 (DF) POST.
- 7/8" STRUCTURAL FLOOR SHEATHING, GLUE AND NAILED, #10x2 1/2" SCREWS @ 6" O.C., FIELD AND EDGES.
- SIMPSON "ST6224" STRAP ACROSS TOP PLATES.
- 2x4 (DF) POST DOWN TO TRUSS, CONNECT ENDS WITH 3-10D TOE NAILS.
- 15/32" STRUCTURAL ROOF SHEATHING, NAILS - EDGES: 8D'S 6" ON CENTER, FIELD - 8D'S 12" ON CENTER, ALL WITH 2 ROWS OF 16d NAILS AT 12" ON CENTER.
- (2) 2x6(DF) TRIMMERS, CONNECT ALL WITH 2 ROWS OF 16d NAILS @ 12 O.C.
- CONNECT GIRDER TRUSS WITH SIMPSON "HS" HURRICANE CLIP.

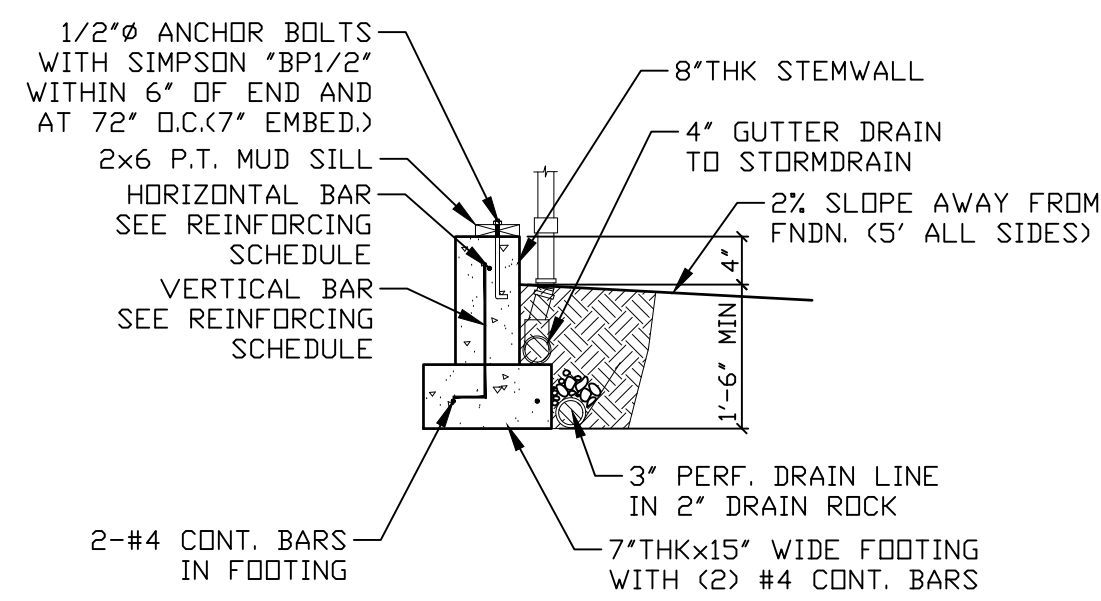
PRECISION DESIGN
MATT FANGETT
7 PARKVIEW CIRCLE
BELLINGHAM, WA 98229
503-569-2338

FIRST AND SECOND FLOOR PLANS

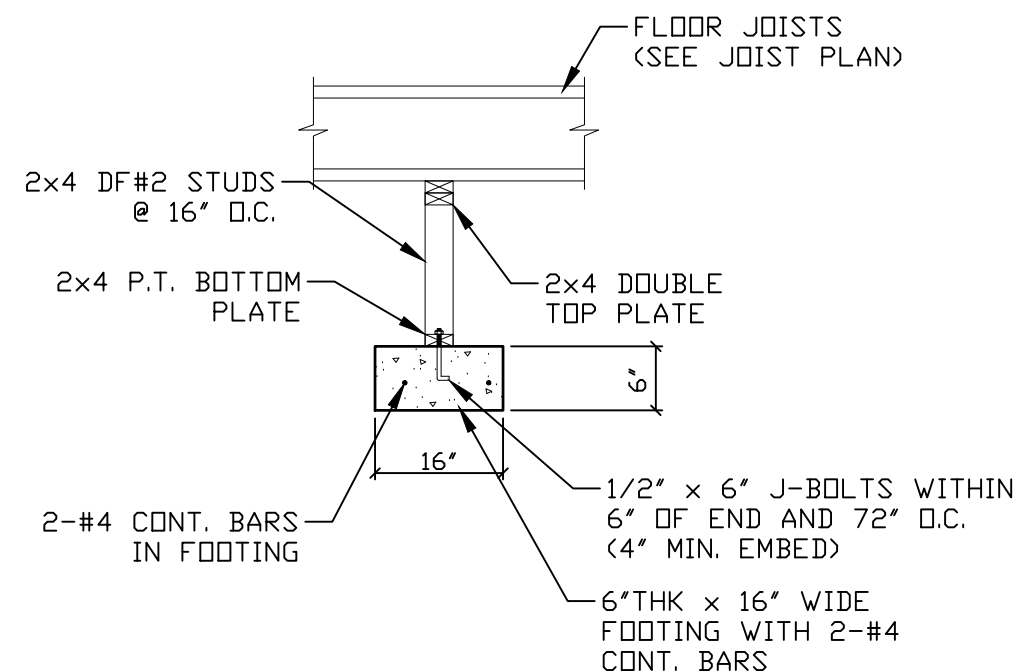
STEVE BENNETT CONSTRUCTION, LLC
CCB#175467
1775-1777 JONATHAN AVE.

DESIGNED BY: MCF
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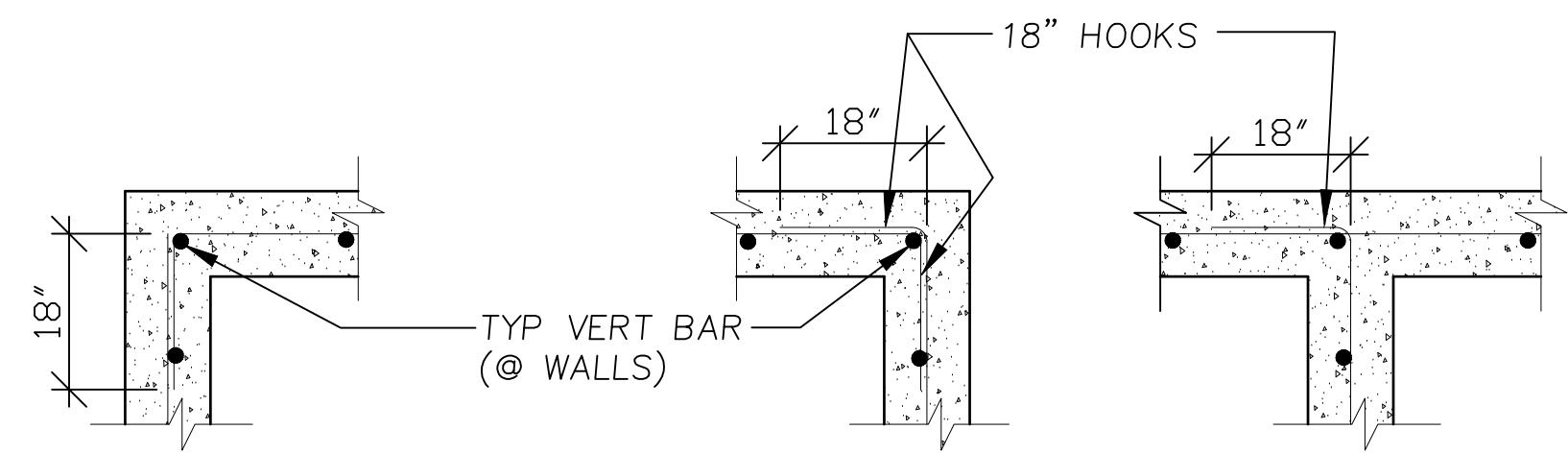
A2



A FOOTING DETAIL
SCALE: 1/2"=1'-0"



B PONY WALL DETAIL
SCALE: 1/2"=1'-0"

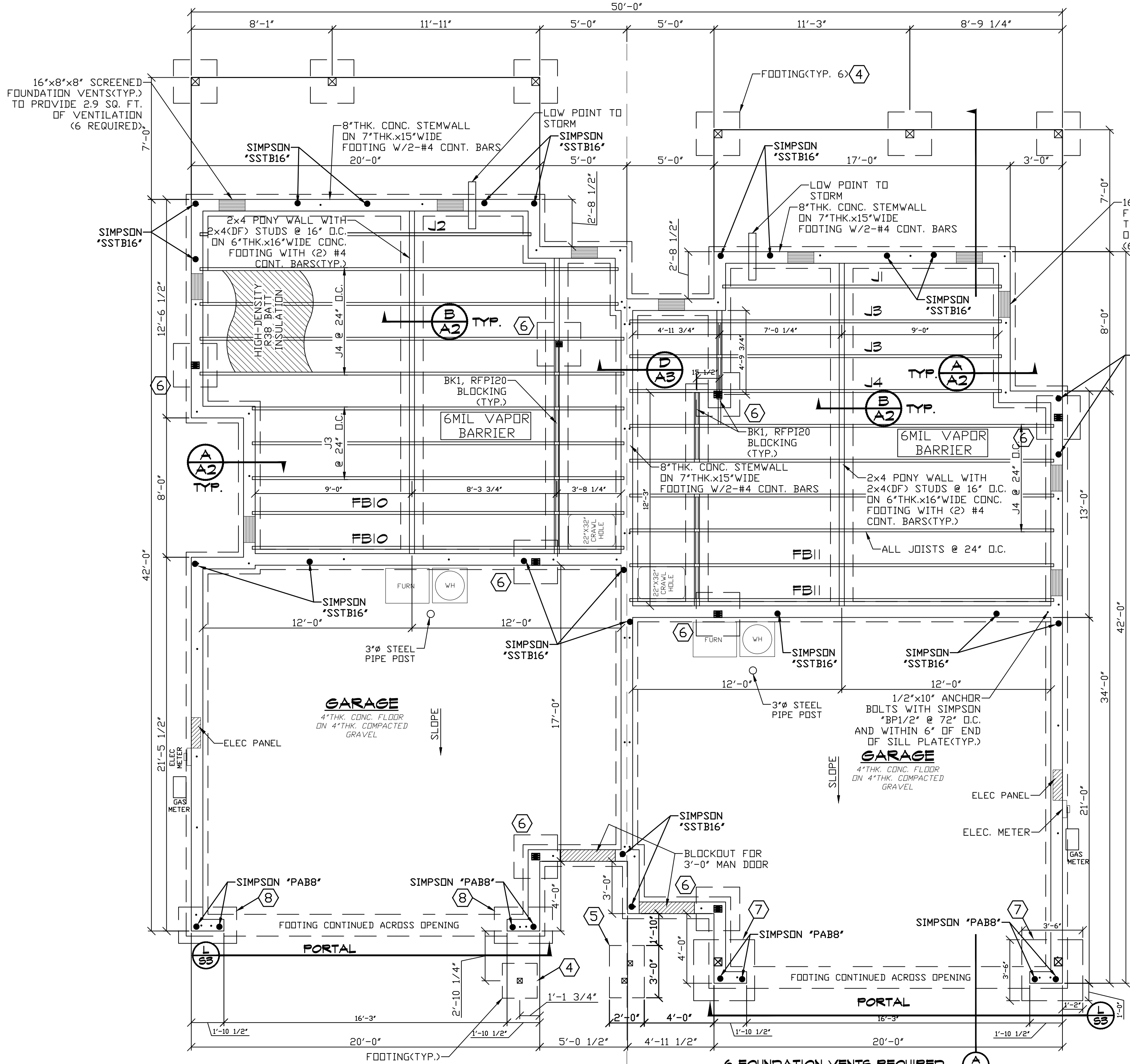


C WALL REINFORCING DETAIL
SCALE: 1/2"=1'-0"

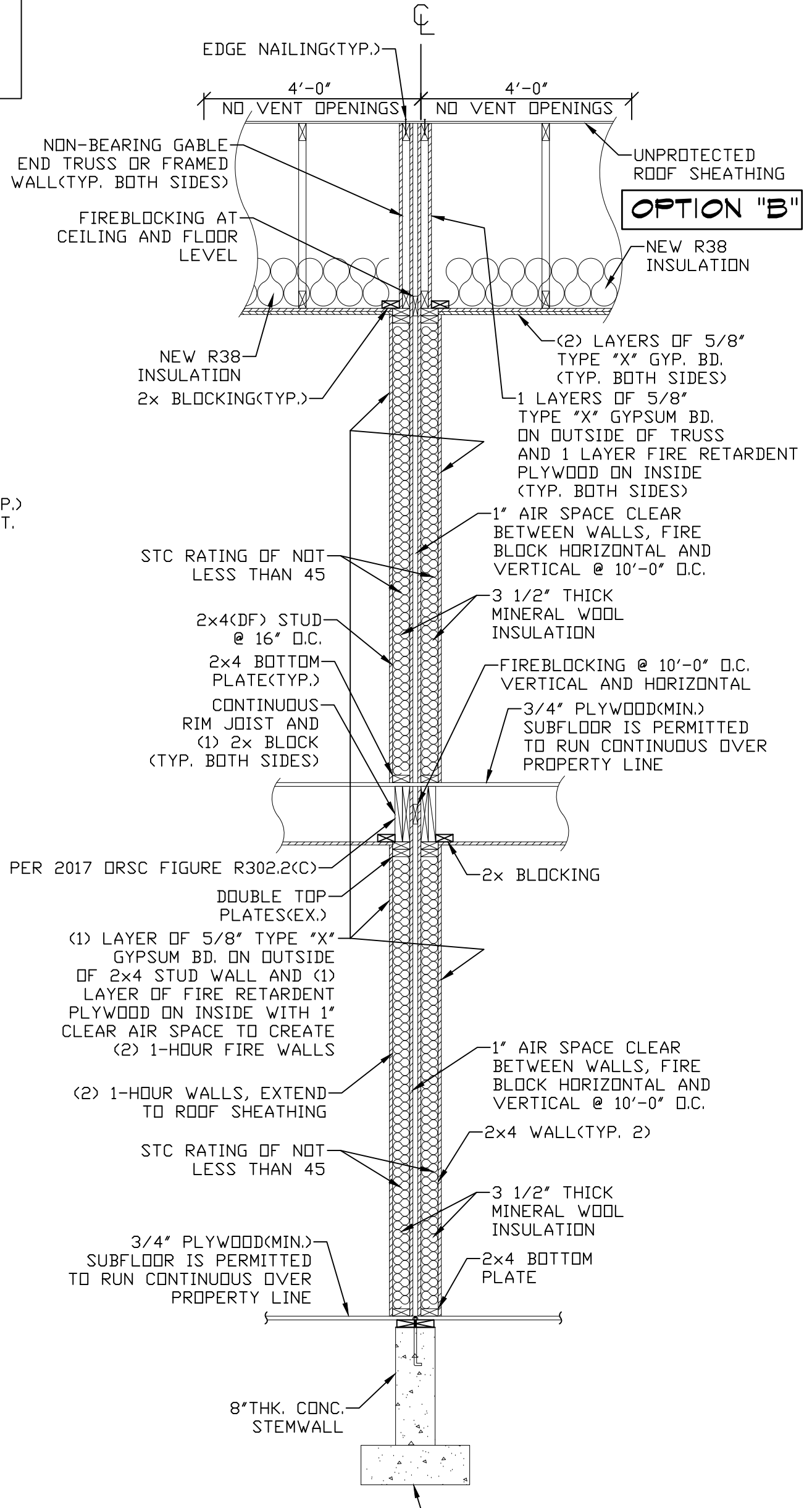
FOUNDATIONS: A GEOTECHNICAL ENGINEER MUST OBSERVE AND APPROVE OF THE SOIL CONDITIONS EXPOSED IN THE BOTTOM OF ALL FOUNDATION EXCAVATIONS BEFORE CONSTRUCTION FORMS OR PLACING CONCRETE.

STEMWALL HGT.	VERTICAL REINFORCING.	HORIZONTAL REINFORCING.
0' TO 2'-0"	#4 @ 4'-0" O.C. AND 18" ABOVE FOOTING	1-#4 BAR WITHIN 12" OF TOP OF WALL
2'-0" TO 4'-0"	#4 @ 4'-0" O.C.	#4 @ 24" O.C.

*BACKFILL DEPTH NOT TO EXCEED 24" ABOVE BOTTOM OF FOOTING.



6 FOUNDATION VENTS REQUIRED
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



D 1-HOUR FIREWALL PARALLEL TO COMMON PROPERTY LINE
SCALE: 1/2"=1'-0" FIGURE R302.2(b) OPTION "B"

SEE SHEET "A2" FOR NOTES, JOIST AND BEAM LIST

CHAPTER II - ENERGY EFFICIENCY

TABLE N101.1(2) ADDITIONAL MEASURES

Envelope Enhancement Measures (Select One)	Conservation Measures (Select One)	Measure Description
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	High-efficiency wall Exterior walls - U-0.045 / R-21 cavity insulation + R-5 continuous Upgraded features Exterior walls - U-0.057 / R-23 intermediate or R-21 advanced, Framed floors - U-0.026 / R-38, and Windows - U-0.28 (average UA) Upgraded features Exterior walls - U-0.055 / R-23 intermediate or R-21 advanced, Framed floors - U-0.026 / R-38 Super Insulated Windows and Attic OR Framed Floors Windows - U-0.22 (Triple Pane Low-e), and Flat ceiling - U-0.017 / R-60 or Framed floors - U-0.026 / R-38 Air sealing home and ducts Mandatory air sealing of all wall coverings at top plate and air sealing checklist ¹ , and Mechanical whole-building ventilation system with rates meeting M1507.3 or ASHRAE 62.2, and All ducts and air handlers contained within building envelope ² or All ducts sealed with mastic ³ High efficiency thermal envelope UA ⁴ Proposed UA is 8% lower than the code UA
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	High efficiency HVAC system ⁵ Gas-fired furnace or boiler AFUE 94 percent, or Air source heat pump HSPF 9.5/15.0 SEER cooling, or Ground source heat pump COP 3.5 or Energy Star rated Ducted HVAC systems within conditioned space All ducts and air handlers contained within building envelope ⁶ Cannot be combined with Measure 5 Ductless heat pump Ductless heat pump HSPF 10.0 in primary zone of dwelling High efficiency water heater ⁷ Natural gas/propane water heater with UEF 0.85 or Electric heat pump water heater Tier 1 Northern Climate Specification Product

For SI, 1 square foot = 0.093 m², 1 watt per square foot = 10.8 W/m².
a. Appliances located within the building thermal envelope shall have sealed combustion air installed. Combustion air shall be ducted directly from the outdoors.
b. All duct joints and seams sealed with listed mastic; tape is allowed only at appliance or equipment connections (for service and replacement). Mast sealing criteria of Performance Tested Comfort Systems program administered by the Bonneville Power Administration (BPA).
c. Residential water heaters less than 55-gallon storage volume.
d. A total of 5 percent of an HVAC system's ductwork shall be permitted to be located outside of the conditioned space. Ducts located outside the conditioned space shall have insulation installed as required in this code.
e. The maximum vaulted ceiling surface area shall not be greater than 50 percent of the total heated space floor area unless vaulted area has a U-factor no greater than U-0.026.
f. Continuous air barrier. Additional requirement for sealing of all interior vertical wall covering to top plate framing. Sealing with foam gasket, caulk, or other approved sealant listed for sealing wall covering material to structural material (example: gypsum board to wood stud framing).
g. Table N1101.1(1) Standard base case design. Code UA shall be at least 8 percent less than the Proposed UA. Buildings with fenestration less than 15 percent of the total vertical wall area, these buildings may adjust the Code UA to have 15 percent of the wall area as fenestration.

PRECISION DESIGN
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FOUNDATION PLAN AND DETAILS

STEVE BENNETT CONSTRUCTION, LLC
CCB#175467
1775-1777 JONATHAN AVE.

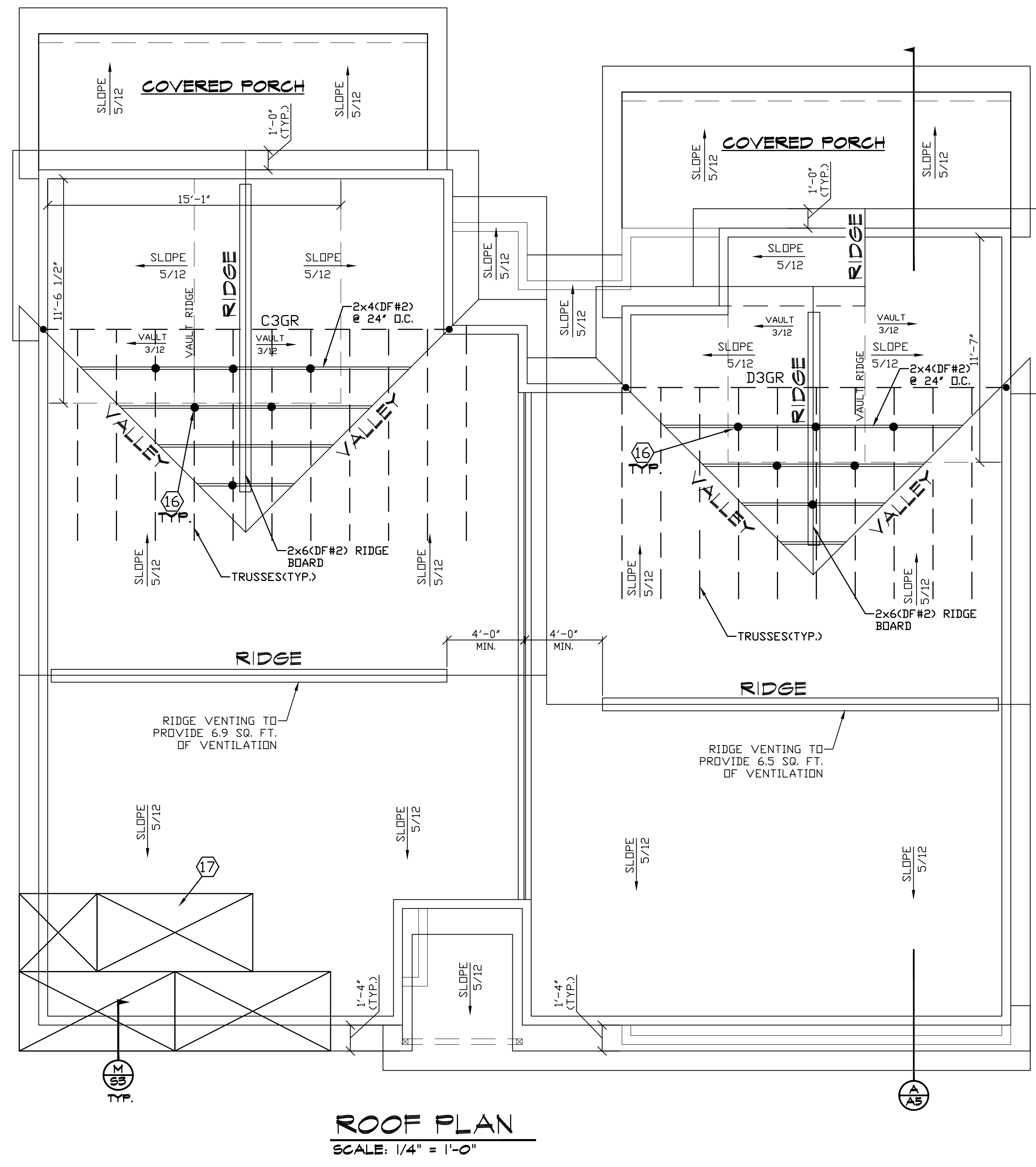
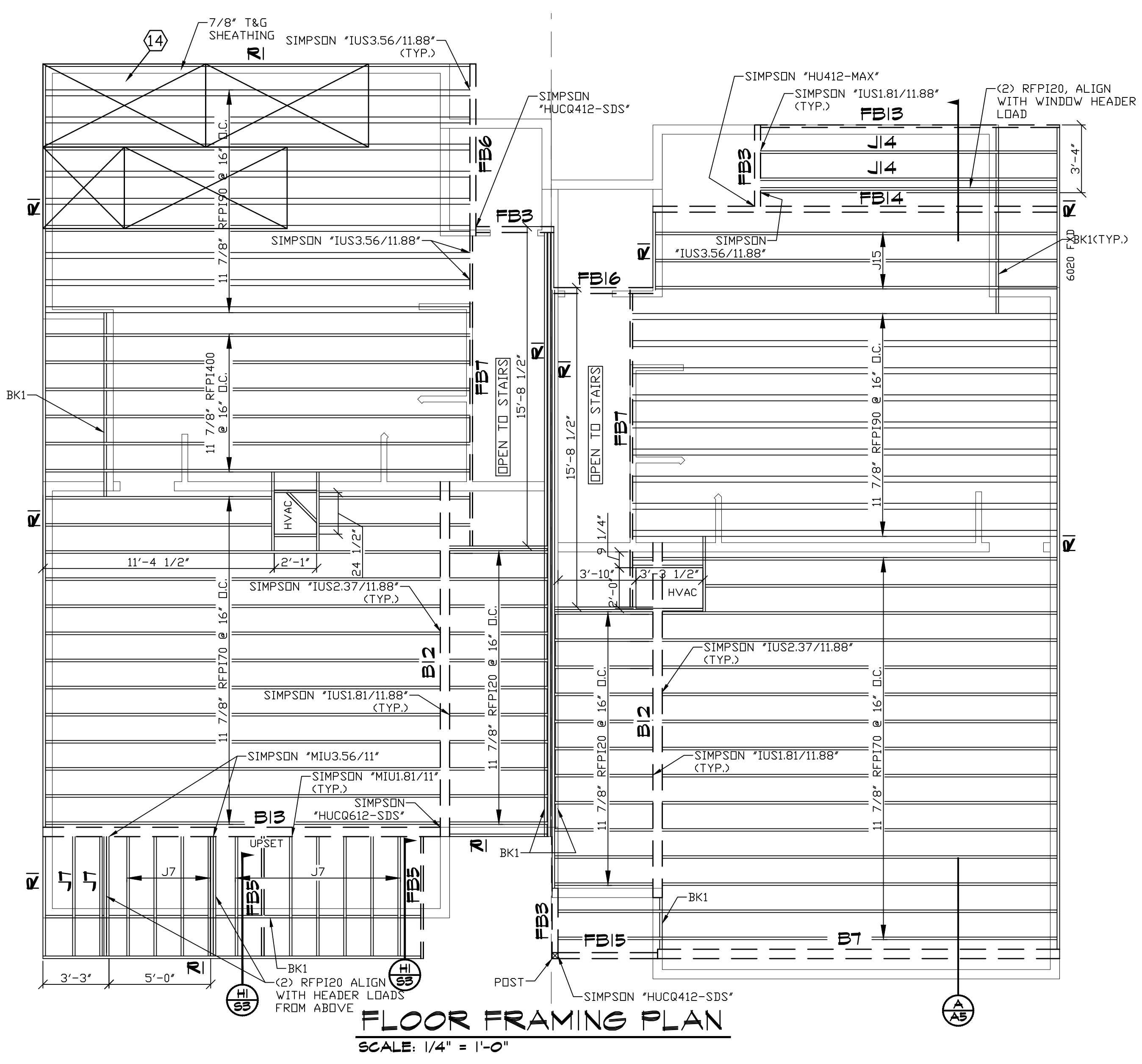
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DRAWING NO. **A3** REV.

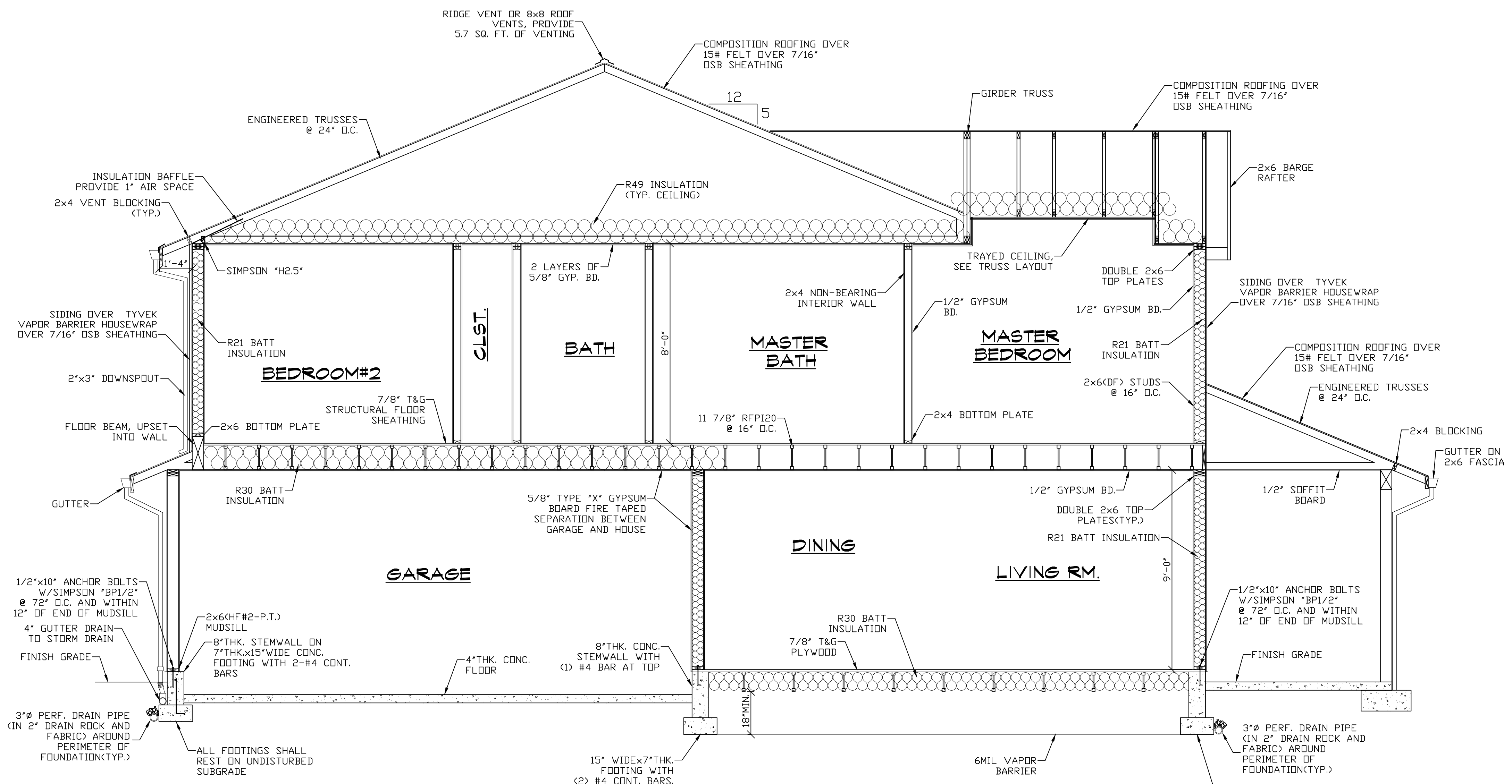
**ROOF PLAN AND
 FLOOR FRAMING PLAN**

STEVE BENNETT CONSTRUCTION, LLC
 CCB#175467
 1775-1777 JONATHAN AVE.

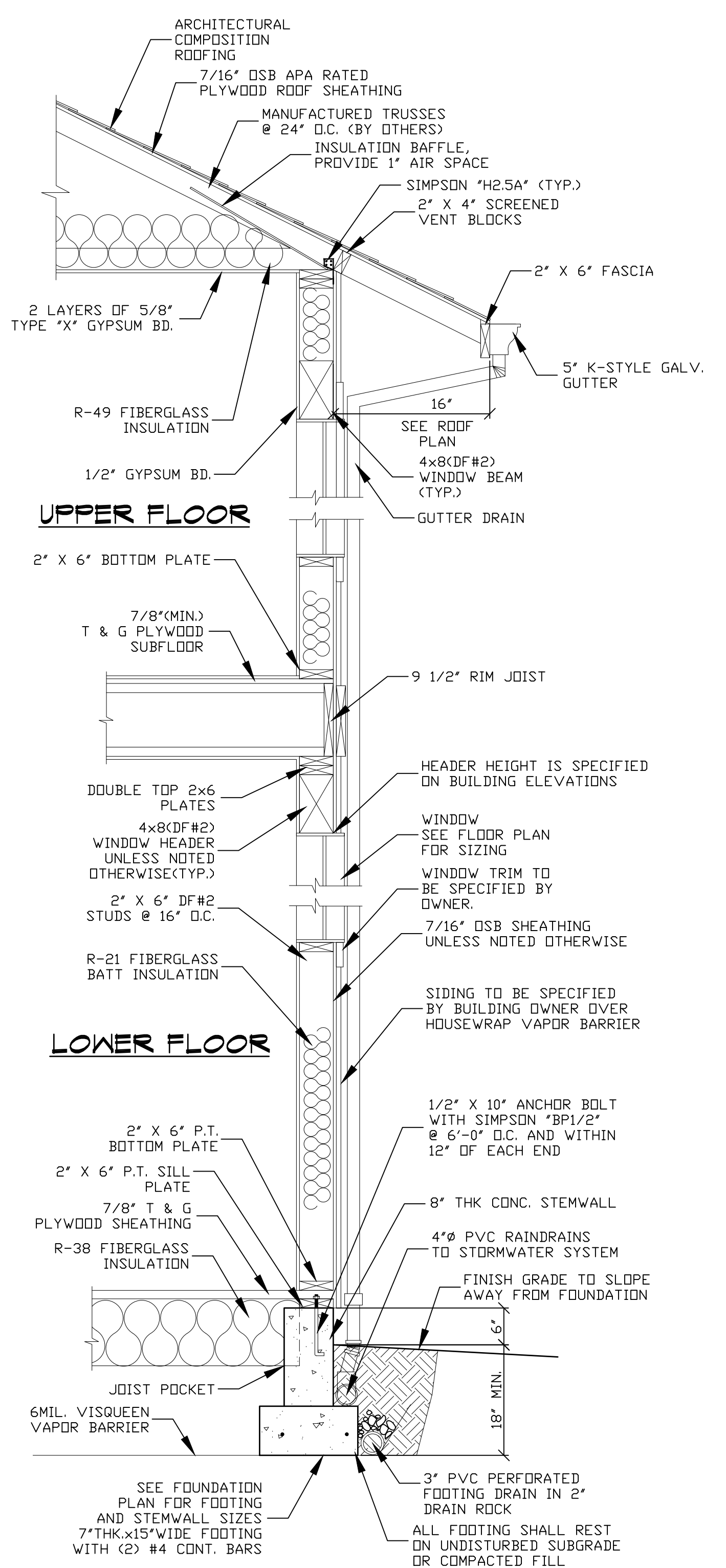
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DRAWN BY:	MCF
DATE:	03-28-21
CLIENT NO.	
DRAWING NO.	
REV.	

SEE SHEET "A2" FOR NOTES,
 JOIST AND BEAM LIST





A BUILDING SECTION
 A5 SCALE: 3/8" = 1'-0"



B TYP WALL SECTION
 A5 SCALE: N.T.S.

SEE SHEET "A2" FOR NOTES,
 JOIST AND BEAM LIST

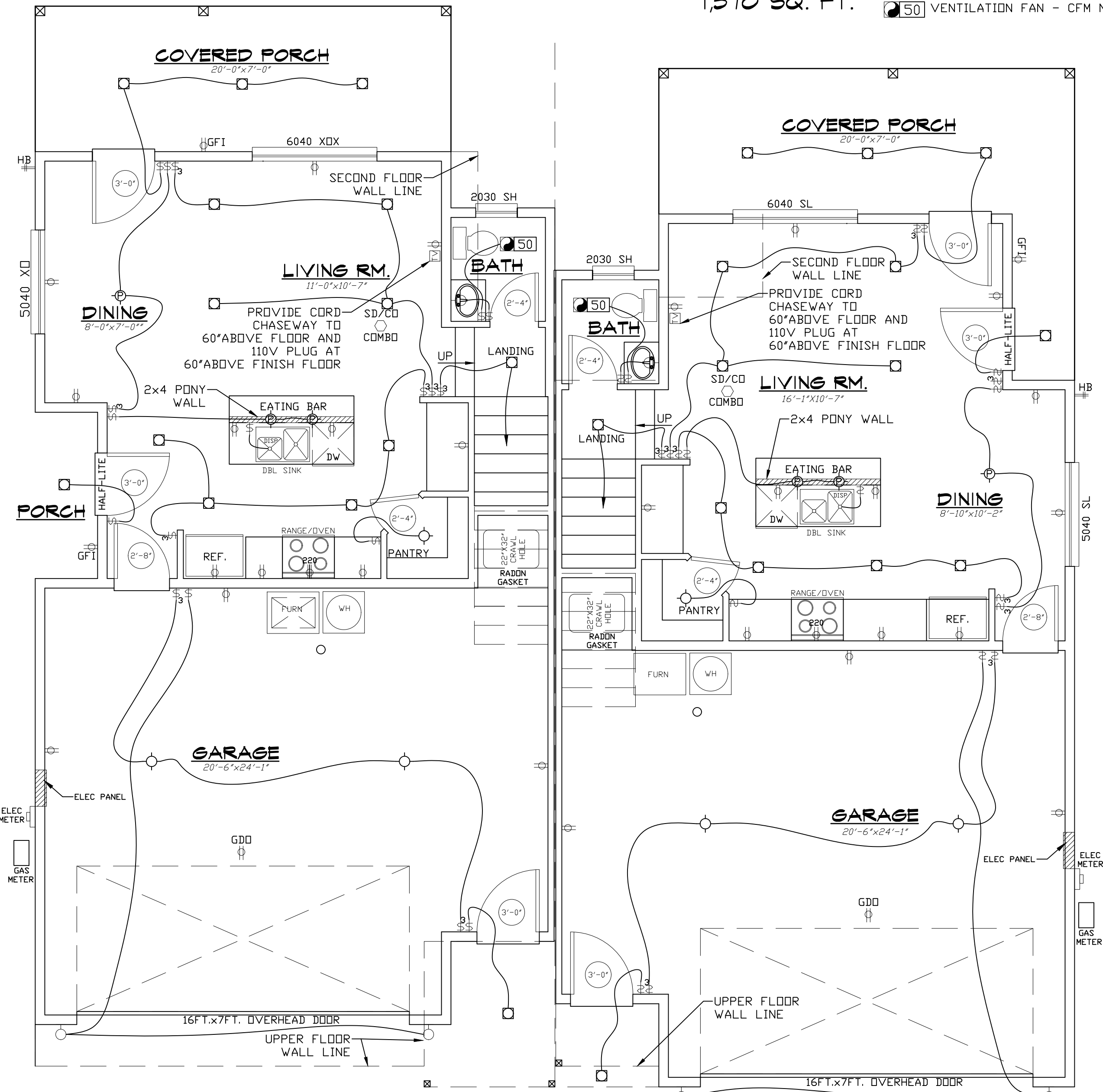
PRECISION DESIGN
 MATT FANGETT
 7 PARKVIEW CIRCLE
 BELLINGHAM, WA 98229
 503-569-2338

BUILDING SECTION

STEVE BENNETT CONSTRUCTION, LLC
 CCB#175467
 1775-1777 JONATHAN AVE.

DESIGNED BY:	MCF
DRAWN BY:	MCF
DATE:	03-28-21
CLIENT NO.:	
DRAWING NO.:	A5
REV.:	

UNIT #2
1,437 SQ. FT.



**ELECTRICAL LAYOUT
FIRST FLOOR PLAN**

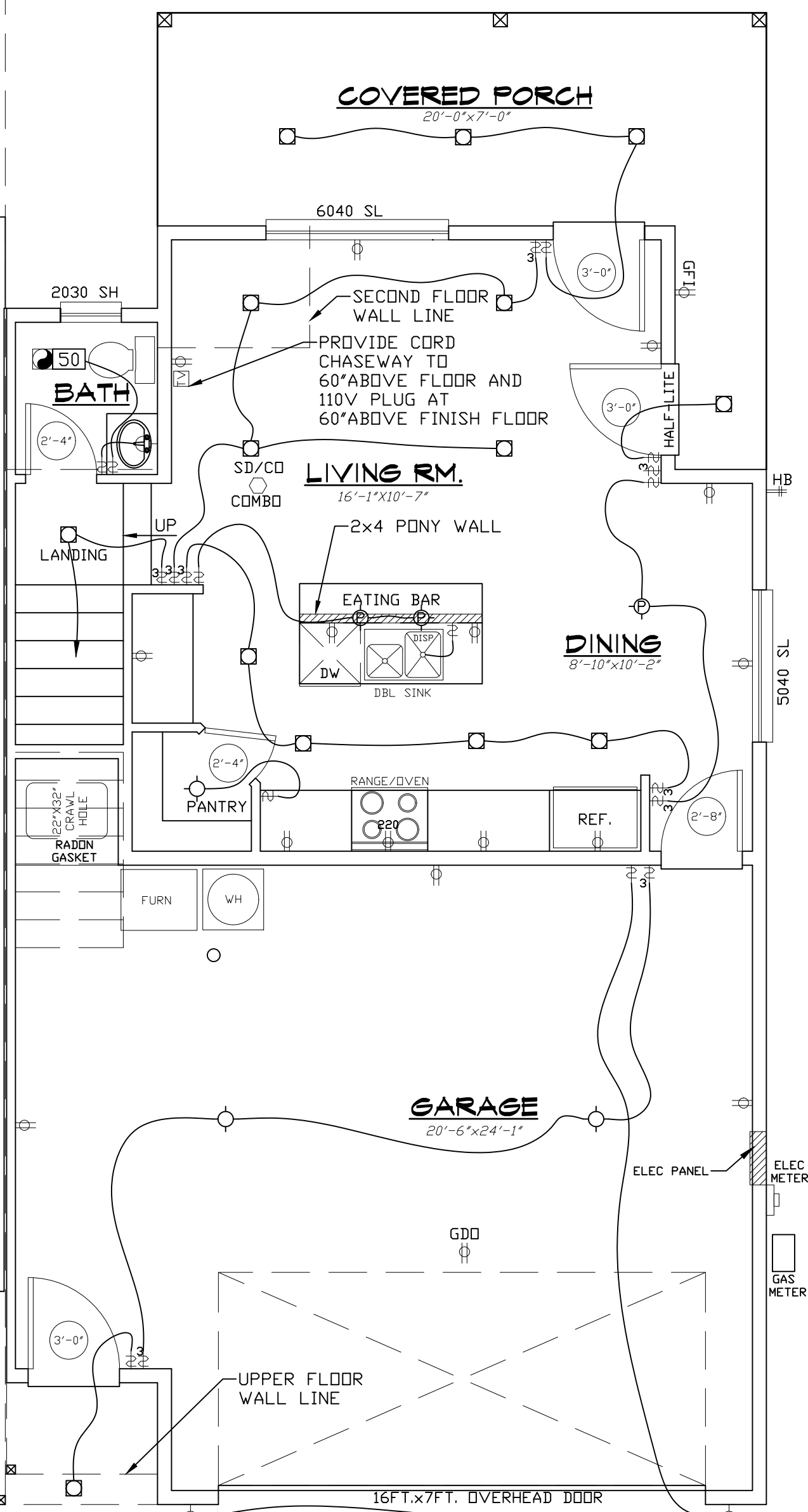
1777 JONATHAN AVE.

SCALE: 1/4" = 1'-0"

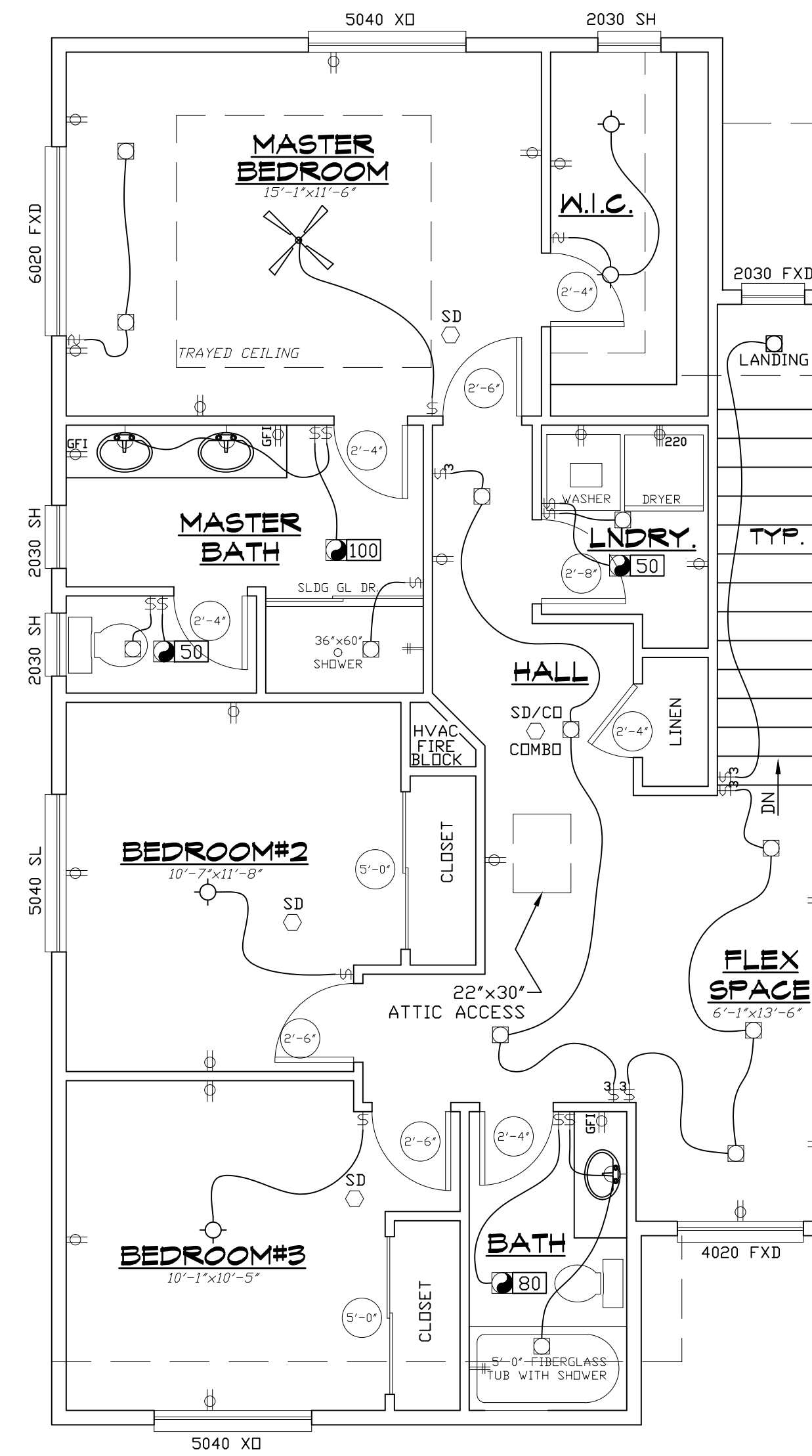
1775 JONATHAN AVE.

UNIT #1
1,370 SQ. FT.

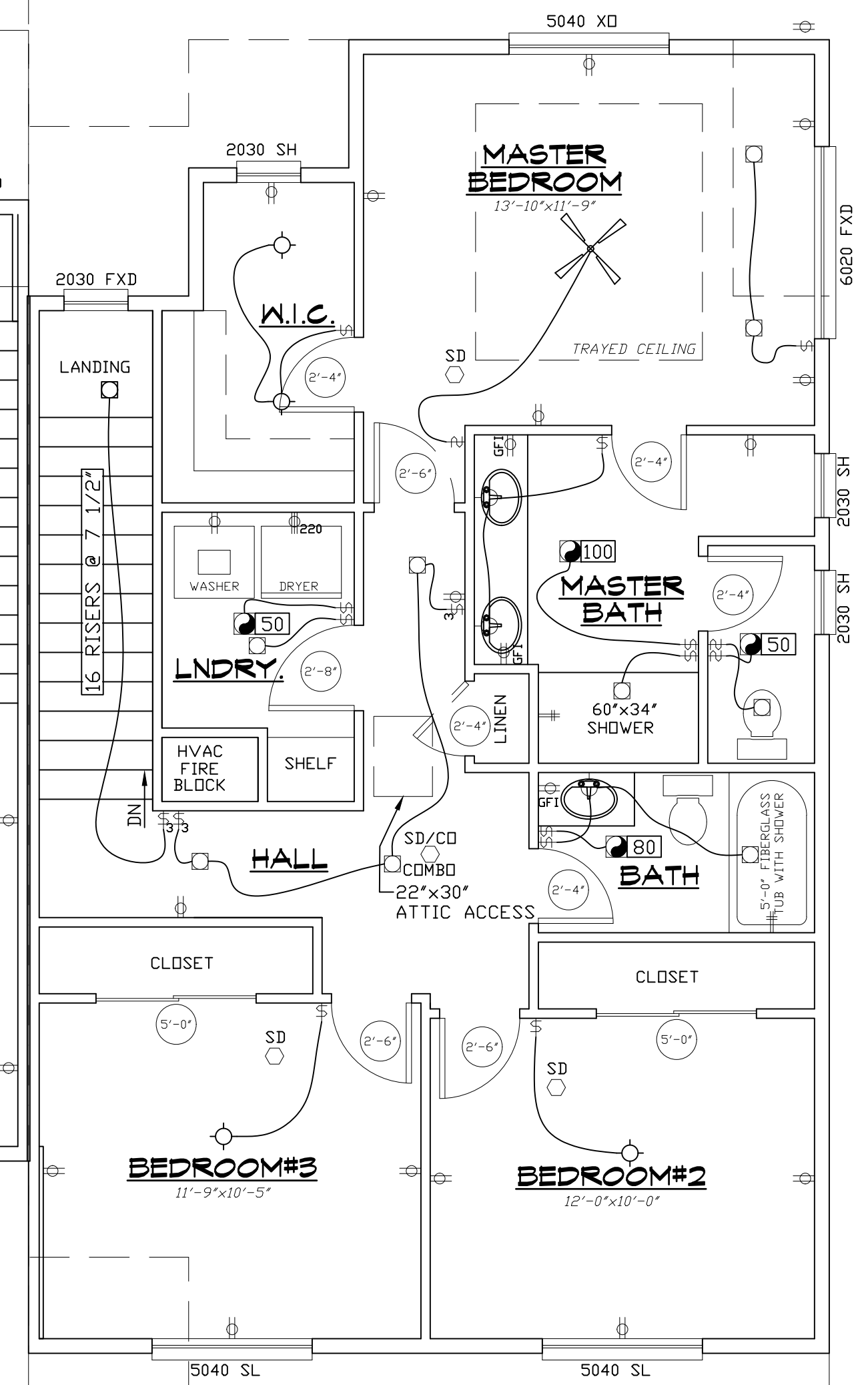
- SD INTERCONNECTED SMOKE DETECTOR
- SD/CO INTERCONNECTED COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
- 50 VENTILATION FAN - CFM NOTED



**1777 JONATHAN AVE.
UNIT #2**



**1775 JONATHAN AVE.
UNIT #1**



**ELECTRICAL LAYOUT
SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND

	CEILING MOUNTED LIGHT
	PENDANT DROP CORD LIGHT
	WALL MOUNT LIGHT
	RECESSED LIGHT
	FAN (NOTE: VENT OUT IF REQUIRED)
	SMOKE DETECTOR (CEILING MOUNT)
	SMOKE DETECTOR (WALL MOUNT)
	DUPLEX CONVENIENCE OUTLET (WALL MOUNT) 110 VOLTS
	BATHROOM-KITCHEN GROUND-FAULT CIRCUIT-INTERRUPTER 110 VOLTS
	HOSE BIB
	THREE-WAY SWITCH
	SINGLE-POLE SWITCH
	PHONE
	TELEVISION OUTLET
	DOOR BELL
	DOOR CHIME
	LIGHT
	CEILING FAN (W/ LIGHT OPTIONAL)
	GARAGE DOOR OPENER

PRECISION DESIGN
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7 PARKVIEW CIRCLE
BELLINGHAM, WA 98229
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ELECTRICAL LAYOUT

STEVE BENNETT CONSTRUCTION, LLC
CCB#175467
1775-1777 JONATHAN AVE.

DESIGNED BY:	MCF
DRAWN BY:	MCF
DATE:	03-28-21
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A6